

RESTRICTIVE COVENANTS FOR HUNTERS RUN

These covenants, limitations, and restrictions are to run with the land and shall be binding on all parties and all persons claiming under them until January 1, 1994, at which time said covenants, limitations, and restrictions shall be automatically extended for successive ten (10) year periods unless by a vote of the majority of the then owners of the lots in this subdivision it is agreed to change said covenants in whole or in part.

- 1. All numbered lots are to be used for residential use only and are not to be resubdivided into other lots.
2. The minimum front yard setback is shown on the plat for each lot, the minimum side yard setback is fifteen (15) feet and minimum rear yard setback is fifty feet.
3. Unattached accessory buildings: An unattached accessory building not living purpose may be erected in the rear yard as long as it meets the County building codes.

OWNERS CERTIFICATE

We, Olive Branch Manufacturing Co. and Mr. and Mrs. John McDonnell, The Hernando Bank and Peoples owners of the property herein, adopt this as our plan of subdivision and hereby certify that we are the owners in fee simple of the property and dedicate the streets as shown to the public use forever and reserve the utility easements for the public utilities, and certify that the property is not encumbered by mortgage or taxes that have become due and payable.

Signatures of Olive Branch Manufacturing Co., Conrad Kreunen, Mr. John McDonnell, and Mrs. John McDonnell. Includes Notary Public seal for James M. Sturner.

This day personally appeared before me the undersigned authority in and for said County and State, Conrad Kreunen and Mr. and Mrs. John McDonnell, The Hernando Bank, and Peoples who acknowledged that they signed and delivered the foregoing plat for the purpose mentioned. Given under my hand and official seal of office. This the 7th day of June, 1984.

My Commission expires: Feb. 6, 1988

CERTIFICATE OF SURVEY

This is to certify that I have surveyed the property within the subdivision and that the plat of said subdivision conforms with survey.

Signature of Joe Frank Lauderdale, Notary Public.

APPROVED BY THE DESOTO COUNTY PLANNING COMMISSION ON THE 3 DAY OF JANUARY, 1984.

Secretary: Herrie M. Alby, Chairman

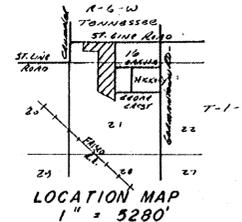
APPROVED BY THE DESOTO COUNTY BOARD OF SUPERVISORS ON THE 4 DAY OF JANUARY, 1984.

Clerk for the Board: H. M. Ferguson, President

STATE OF MISSISSIPPI COUNTY OF DESOTO

I hereby certify that the plat shown hereon was filed for record in my office at 10:00 o'clock A.M. on the 12th day of July, 1984, and was immediately recorded in plat book 22, page 39.

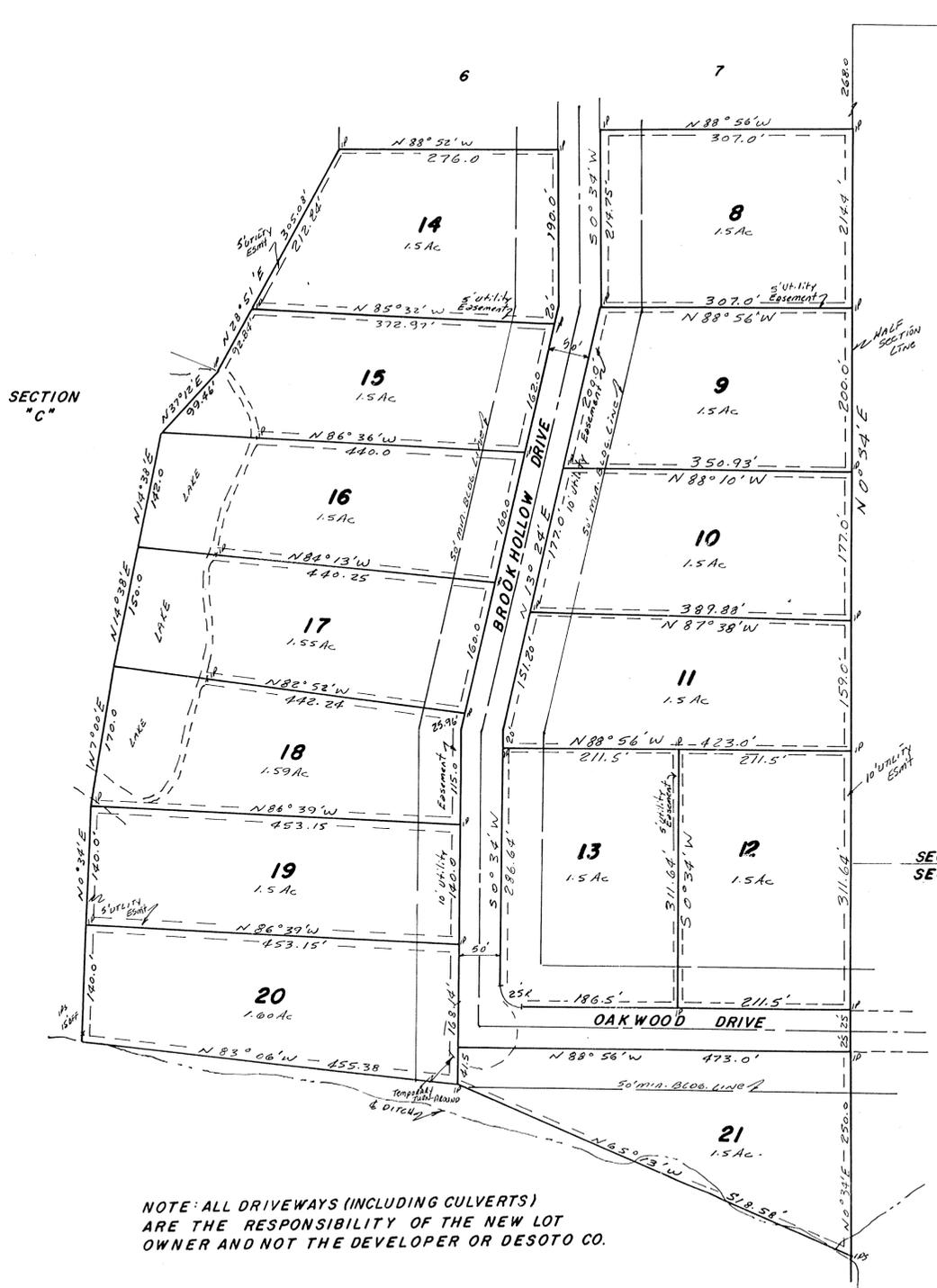
Signature of H. M. Ferguson, Chancery Clerk.



Septic tanks may be used on the lots shown on this plat of subdivision. DESOTO COUNTY HEALTH DEPARTMENT. BY Steve R. Juller, Health Officer. DATE 06/21/84

FIRST REVISION HUNTERS RUN SECTION "B" SECTIONS 16 & 21; TOWNSHIP 1 SOUTH, RANGE 6 WEST DESOTO COUNTY, MISSISSIPPI ZONED "AR" AGRICULTURAL-RESIDENTIAL SCALE: 1" = 100' DEC. 21, 1983 J. F. LAUDERDALE P.E. MISS. NO. 2214

1982-2-22



N.E. CORNER OF  
SECTION 16; T-1-S; R-6-W

SECTION  
"C"

FIRST REVISION HUNTER RUN  
SECTION "B"

SECTION 16 & 20; TOWNSHIP 1 SOUTH; RANGE  
6 WEST; DESOTO COUNTY, MISSISSIPPI  
ZONED "AR" AGRICULTURAL- RESIDENTIAL



SCALE: 1"=100' DEC. 21, 1983  
J. F. LAUDERDALE P.E.  
MISS. NO. 2214

NOTE: ALL DRIVEWAYS (INCLUDING CULVERTS)  
ARE THE RESPONSIBILITY OF THE NEW LOT  
OWNER AND NOT THE DEVELOPER OR DESOTO CO.